

**To: Mayor and Members of South-West Oxford Township Council**

**From: Laurel Davies Snyder, Development Planner, Community Planning**

## **Application for Zone Change ZN 4-25-10 (Teresa Ptak)**

### **REPORT HIGHLIGHTS**

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- This zone change application proposes to rezone the three (3) residential lots resulting from Consent Applications B25-51-4, B25-52-4, B25-53-4 from 'Development Zone (D)' to 'Special Residential Type 1 Zone (R1-sp)'. The applicant has also requested special provisions to permit a reduced lot frontage for all three lots and a reduced lot depth for one lot to facilitate the proposal.
- This zone change application also proposes to rezone the lot to be retained from 'Development Zone (D)' to 'Residential Type 1 Zone (R1)'
- Planning staff are recommending that the application be approved-in-principle as it is generally consistent with the Provincial Planning Statement (PPS) and maintains the intent and purpose of the Official Plan with respect to residential development in Settlement Areas, and development adjacent to Significant Woodlands and Significant Valleylands.

### **DISCUSSION**

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#### **Background**

OWNER: Teresa Ptak  
19 Raglan Street, Beachville, ON N0J 1A0

AGENT: Dave Ailles  
1 Lupus Place, London, ON N6C 4X2

LOCATION:

The subject lands are legally described as Lots 120-123, 133, 143-149, Part Lots 124-127, 130-132, 134, 141-142, and Part of Henrietta Street, Plan 75 Between Raglan Street and Head Street, and Part 1 on Plan 41R-10873, Township of South-West Oxford. The lands are located on the east side of Raglan Street between King Street and 41st Line and are known municipally as 19 Raglan Street in the Village of Beachville.

COUNTY OF OXFORD OFFICIAL PLAN:

Schedule “C-3” County of Oxford Settlement Strategy Plan	Village
Schedule “S-1” Township of South-West Oxford Land Use Plan	Settlement

TOWNSHIP OF SOUTH-WEST OXFORD ZONING BY-LAW No. 25-98

Lots to be Severed via B25-51-4, B25-52-4, and B25-53-4

Existing Zoning: ‘Development Zone (D)’  
Proposed Zoning: ‘Special Residential Type 1 Zone (R1-sp)’

Lot to be Retained

Existing Zoning: ‘Development Zone (D)’  
Proposed Zoning: ‘Residential Type 1 Zone (R1)’

PROPOSAL:

This zone change application proposes to rezone the three (3) new residential lots resulting from Consent Applications B25-51-4, B25-52-4, and B25-53-4 from ‘Development Zone (D)’ to ‘Special Residential Type 1 Zone (R1-sp)’, and to rezone the lot to be retained from ‘Development Zone (D)’ to ‘Residential Type 1 Zone (R1)’. An access easement, encompassing a portion of the existing driveway for the dwelling on the retained lands, has also been requested over Proposed Lot 3 (B25-53-4) in favour of the lot to be retained for continued driveway access purposes. The consent applications and request for an access easement were approved by the Oxford County Land Division Committee (LDC) on March 5, 2026. The subject zone change application is required to fulfil a condition of the consent.

All new residential lots and the lot to be retained are within the Village of Beachville. Proposed Lots 1, 2, and 3 have vehicular access to Raglan Street; access for the Lot to be Retained is proposed via an easement on Proposed Lot 3. The applicant submitted conceptual site sketches illustrating the proposed lot layouts, including proposed locations for future residential dwellings, wells, and septic systems, depicted on Plate 3.

Proposed Lot 1 created via Consent No. B25-51-4 is located on the southern part of the subject lands, has an area of 3,859.8 m<sup>2</sup> (41,546.7 ft<sup>2</sup>) and approximate average lot depth of 80.2 m (263 ft). The applicant is proposing a special provision to permit a reduced lot frontage of 10.05 m (34.4 ft) where 35 m (114.8 ft) is required.

Proposed Lot 2 created via Consent No. B25-52-4 abuts proposed Lot 1, has an area of 4,494 m<sup>2</sup> (48,373 ft<sup>2</sup>), and approximate average lot depth of 85.25 m (279.7 ft). The applicant is proposing a special provision to permit a reduced lot frontage of 10.05 m (34.4 ft) where 35 m (114.8 ft) is required.

Proposed Lot 3 created via Consent No. B25-53-4 is located on the northern part of the subject lands, is generally rectangular in shape, and has an area of 4,494 m<sup>2</sup> (48,373 ft<sup>2</sup>). The applicant is proposing a special provision to permit a reduced lot frontage of 10 m (32.8 ft) where 35 m (114.8 ft) is required and a reduced lot depth of 69.6 m (228.3 ft) where 80 m (262.5 ft) is required.

An access easement, over Proposed Lot 3 in favour of the Lot to be Retained for continued driveway access purposes is being proposed. The easement will encompass a portion of the existing driveway for the dwelling on the retained lands.

The Lot to be Retained is irregular in shape and has an area of 2.55 ha (6.3 ac), and frontage of 53.5 m (174.4 ft) on Raglan Street. The lot contains an existing single detached dwelling with an attached garage constructed circa 1974, and two residential accessory structures totalling 49.8 m<sup>2</sup> (536 ft<sup>2</sup>). Vehicular access to Raglan Street will be provided via an easement on Proposed Lot 3 for the benefit of the Lot to be Retained.

The subject lands contain significant natural heritage features including Significant Valleylands and Significantly Ecologically Important Woodlands and are partially within the regulatory limit of the Upper Thames River Conservation Authority (UTRCA).

The applicant submitted a Scoped Environmental Impact Study (EIS), a Geotechnical Report, and a Concept Plan (layout with topography and to illustrate the proposed lots) in support of the applications for consent and zone change.

To facilitate this proposal and provide frontage and access onto Raglan Street for Proposed Lots 1 and 2, the owner purchased part of the unopened Henrietta Street Road Allowance from the Township. The transaction was finalized on October 31, 2025.

Surrounding land use generally consists of single detached dwellings on a variety of lot sizes, fronting onto Raglan Street and Oxford Street West. Woodland uses are present to the east, with road allowances to the south and a road allowance to north representing the municipal boundary with the Township of Zorra. Land uses to the north are agricultural. The CN railway is located approximately 170 m to the south, with intervening residential properties.

Plate 1, Location Map with Existing Zoning, shows the location of the subject lands, the existing zoning in the immediate vicinity.

Plate 2a, Aerial Map (2020), provides an aerial view of the subject lands and proposed access easement on Proposed Lot 3 for the benefit of the lot to be retained.

Plate 2b, Aerial Map A Proposed Lot 1 (B25-51-4) and Proposed Lot 2 (B25-52-4), provides a close-up view of the lots to be severed resulting from applications B25-51-4 (Proposed Lot 1) and B25-52-4 (Proposed Lot 2) and rezoned to 'Special Residential Type 1 zone (R1-sp)'.

Plate 2c, Aerial Map B Proposed Lot 3 (B25-53-4), provides a close-up view of the lot to be severed resulting from application B25-53-4 (Proposed Lot 3) and rezoned to 'Special Residential Type 1 Zone (R1-sp)' and the Lot to be Retained to be rezoned to 'Residential Type 1 Zone (R1)'.

Plate 3, Applicants' Sketches, provides the proposed configurations and approximate dimensions of the lot to be retained and the lots to be severed resulting from applications B25-51-4, B25-52-4, and B25-53-4, as submitted by the applicant.

## **Application Review**

### 2024 Provincial Planning Statement

The 2024 Provincial Planning Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. Under Section 3 of the *Planning Act*, where

a municipality is exercising its authority affecting a planning matter, such decisions shall be consistent with the statements issued under the Act. The following outlines the key PPS policies that have been considered but is not intended to be an exhaustive list.

Section 2.2 provides that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the immediate area by:

- a) establishing and implementing minimum targets for the provision of housing that is affordable to low- and moderate-income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;
- b) permitting and facilitating:
  1. all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and
  2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;
- c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and
- d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.

Section 2.3.1, General Policies for Settlement Areas, establishes that settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas. Land use patterns within settlement areas should be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) optimize existing and planned infrastructure and public service facilities;
- c) support active transportation;
- d) are transit-supportive, as appropriate; and
- e) are freight-supportive.

Section 4.1, Natural Heritage establishes that:

Natural features and areas shall be protected for the long term, and that the diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

Development and site alteration shall not be permitted in significant woodlands or significant valleylands unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions.

Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

## Official Plan

The subject lands are located within a rural settlement, specifically a Village according to the Township of South-West Oxford Land Use Plan, as contained in the Official Plan. More specifically, the subject lands are located within the Village of Beachville and in an area of Beachville that is not served by municipal water and sanitary services. Designated rural settlements comprise Rural Clusters, Villages and Serviced Villages. To accommodate anticipated rural growth, County Council promotes the location of non-agricultural uses within rural settlements as a means of protecting agricultural lands and natural areas, avoiding scattered and strip development and maximizing the efficiency of municipal services where they exist. The policies set out for Settlement Areas are designed to provide opportunities to develop a variety of housing required to meet the needs of County residents including ownership and rental housing, affordable housing and specialized housing in rural settlements where appropriate servicing levels are provided. Within the Village designation, a range of land use is permitted except for multiple unit residential development involving more than two units.

The subject lands are in proximity to the CN Rail Line, which is located 170 m (557.7 ft) to the south of the subject lands as illustrated on Plates 1 and 2. Section 3.3.3.1 of the Official Plan addresses human made constraints with respect to noise, vibration and safety. This section provides that the Township and County recognize that there may be noise or vibrations that affect sensitive land uses located in proximity to industrial uses, major roads and railways. The objective of the Official Plan is to prevent or minimize the encroachment of noise sensitive land uses upon these areas and vice versa. Consequently, in accordance with Provincial criteria, County Council adopted noise level objectives as outlined in the Official Plan, and established that studies may be required to address the measurement, analysis and mitigation of noise or vibration effects prior to, or, as a condition of development and in recognition of the safety issues associated with locating sensitive land uses in proximity to railways, additional safety measures will be incorporated into new development as appropriate.

Notwithstanding minimum separation distances between sensitive land uses and industrial uses, major roads, and railways, the County or Town may reduce the requirement for the minimum separation distances from rail yards and waive the requirement for feasibility and/or noise studies where infilling or redevelopment for residential or mixed use is proposed on existing lots of record and for the creation of a single lot through the consent process for infilling, provided that:

- the proposed development is no closer to the zoned and designated facilities than existing sensitive land uses in the immediate area;
- existing railway authorities within the prescribed minimum separation distance are notified of the proposed development and have been provided the opportunity to comment, and;
- the composition and nature of the industrial land uses within the minimum separation distances are relatively stable and/or there is evidence that these areas are undergoing transition to other more compatible uses.

With respect to the Natural Heritage Resources contained on the subject lands, as identified in the Oxford Natural Heritage Systems Study (ONHSS), the eastern portion of the subject lands contain an existing woodlot that has been identified as a Significant Ecologically Important Woodland, and the eastern and southern portion of the subject lands contain Significant Valleylands, and are part of the County's Natural Heritage System.

Section 3.2.3.3, Natural Heritage System Implementation Measures, provides several implementation measures for the preservation and protection of the natural heritage system. Such measures shall be used as a guide in the expansion of the natural heritage system as well as during the review process. To achieve a net environmental gain, the County and Township will

first seek to avoid development or site alteration that permanently impairs significant natural features and areas. All development or site alteration occurring within the County of Oxford within or adjacent to the features forming the Natural Heritage System shall minimize and, where possible, prevent negative effects associated with development by incorporating best management practices for stormwater management, erosion and sedimentation controls, tree-saving plans and other such site design and servicing measures.

Section 3.2.4.2.4, Significant Valleylands, establishes that conceptually, valleylands consist of natural areas occurring in a valley or other landform depression that has water flowing through or standing for some period of time. Development and site alteration may be permitted on lands within and adjacent to significant valleylands where an Environmental Impact Study prepared in accordance with Section 3.2.6 demonstrates that the proposal will not cause a negative impact on the significant valleyland; and where the policies of Sections 3.2.8.1 (Flood Plain Policies) and 3.2.8.2 (Erosion Hazard and Unstable Soils) are satisfied, as appropriate.

Section 3.2.4.2.5, Significant Woodlands, establishes the policies to identify and guide development and site alteration within and on land adjacent to a significant woodland. Development and site alteration within and on lands adjacent to a significant woodland will require the preparation of an Environmental Impact Study in accordance with Section 3.2.6 which demonstrates that the proposal will not result in a negative impact on the woodland.

### Zoning By-law

The subject lands are currently zoned 'Development Zone (D)' in the Township of South-West Oxford Zoning By-law No. 25-98. The 'D' zone permits a farm, a home occupation, a public use, a seasonal fruit, vegetable, flower or farm produce sales outlet, and an existing single detached dwelling, subject to additional development standards.

As per the Notices of Decision dated March 5, 2026 and established in Report CP 2026-72 – applicants for Consent and Easement, B25-51-4, B25-52-4 and B25-53-4, a condition of approval is to rezone the new residential lots and lot to be retained resulting from Consent Applications B25-51-4, B25-52-4, and B25-53-4 to recognize the use of the lands for residential purposes.

The 'Residential Type 1 Zone (R1)' permits residential uses including a converted dwelling, a garden suite, a single detached dwelling, and an Additional Residential Unit (ARU). Where sanitary sewers are not available, the 'R1' zone requires a minimum lot area of 2,800 m<sup>2</sup> (30,140 ft<sup>2</sup>), a minimum lot frontage of 35 m (114.8 ft), and a minimum lot depth of 80 m (262.5 ft).

The Proposed Lot to be Retained will have an approximate area of 2.6 ha (6.31 ac), with 53.47 m (174.4 ft) of frontage on Raglan Street and an average lot depth of 239 m (784 ft). These lands contain an existing single detached dwelling and two residential accessory structures totalling approximately 49.8 m<sup>2</sup> (536 ft<sup>2</sup>). This lot appears to meet the provisions of the 'R1' zone.

The Proposed Residential Lot 1, Lot to be Severed via B25-51-4 has an approximate total area of 3,859.8 m<sup>2</sup> (41,546.7 ft<sup>2</sup>) and average lot depth of 80.2 m (263 ft). When the area dedicated to driveway access is removed, the lot has an area of 2,822 m<sup>2</sup> (30,375.8 ft<sup>2</sup>) and a frontage of 10.05 m (34.4 ft) on Raglan Street. The lot area and lot depth meet the provisions of the 'R1' zone, and the applicant has requested a special provision to permit a reduced lot frontage of 10.05 m (34.4 ft) where 35 m (114.8 ft) is required.

The Proposed Residential Lot 2, Lot to be Severed via B25-52-4 has an approximate area of 4,494 m<sup>2</sup> (48,373 ft<sup>2</sup>). When the area dedicated to driveway access is removed, the lot has an area of 2,820 m<sup>2</sup> (30,354 ft<sup>2</sup>), a frontage of 10.05 m (34.4 ft) on Raglan Street and an average lot depth of 92.3 m (302.8 ft). The lot area and lot depth meet the provisions of the 'R1' zone, and the applicant has requested a special provision to permit a reduced lot frontage of 10.05 m (34.4 ft) where 35 m (114.8 ft) is required.

The Proposed Residential Lot 3, Lot to be Severed via B25-53-4 has an approximate area of 4,454 m<sup>2</sup> (47,942.5 ft<sup>2</sup>) with 10 m (32.8 ft) of frontage on Raglan Street, and an approximate lot depth of 69.6 m (228.3 ft) The lot area meets the minimum lot area provision of the 'R1' zone, and the applicant has requested a special provision to permit a reduced lot depth of 69.6 m (228.3 ft) where 80 m (262.5 ft) is required, and a reduced lot frontage of 10 m (32.8 ft) where 35 m (114.8 ft) is required.

### Agency Comments

The application for Zone Change ZN 4-24-10 and the applications for Consent B25-51-4, B25-52-4 and B25-543-4 were circulated together to public agencies considered to have an interest in the proposal. All the comments received through the circulation process are summarized below.

The Canadian National Rail Line commented that as the subject site is within 300 meters of CN's Main Line, there are concerns regarding development of sensitive uses in proximity to railway operations; it cultivates an environment in which land use incompatibility issues are exacerbated. CN requests the following criteria as conditions of final approval.

1. The following clause should be inserted in all development agreements, offers to purchase, and agreements of Purchase and Sale or Lease of each dwelling unit within 300m of the railway right-of-way:  
*"Warning: Canadian National Railway Company or its assigns or successors in interest has or have a right-of-way within 300 metres from the land the subject hereof. There may be alterations to or expansions of the railway facilities on such rights-of-way in the future including the possibility that the railway or its assigns or successors as aforesaid may expand its operations, which expansion may affect the living environment of the residents in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwelling(s). CNR will not be responsible for any complaints or claims arising from use of such facilities and/or operations on, over or under the aforesaid rights-of-way."*
2. The Owner shall be required to grant CN an environmental easement for operational noise and vibration emissions, registered against the subject property in favour of CN.

Township of South-West Oxford Public Works provided the following comments:

- The proposed frontages meet the Township's minimum driveway width of 5.2 m (17 ft).
- Prior to development, the owner is required to obtain written authorization from the Township to connect to the Raglan Street Drain, to the satisfaction of the Township of South-West Oxford. All expenses are the responsibility of the owner. All works shall be carried out by contractors approved by the Township and in accordance with all municipal standards and specifications. The owner shall obtain all necessary permits and approvals prior to commencing any work. Detailed engineering drawings, prepared and stamped by a Professional Engineer licensed in the Province of Ontario, illustrating the full extent of the proposed works, shall be submitted for review and approval by the Township prior to construction.

Township of South-West Clerk's Department commented that the owner will be required to pay a cash-in-lieu of parkland payment for the creation of additional residential lots in accordance with By-law No. 32-2021.

Township of South-West Oxford Building Services Staff commented that:

- In order to ensure that any new well and septic systems are located appropriately (e.g. horizontal clearances are maintained) and in conformance with applicable legislation and regulations, a condition of approval shall be that the owner shall provide a written confirmation of the location of all sewage systems and wells located on parcels immediately adjacent to the subject lands to the satisfaction to the Township of South-West Oxford.
- The owner shall provide confirmation of the location and dimensions of all legal rights-of-way, easements and/or vehicular accesses for providing access for firefighting and emergency purposes and that they are consistent with Ontario Building Code and Fire Code, and commitment to undertaking maintenance of same to the satisfaction of the Township of South-West Oxford.
- To ensure that adjacent existing lots and structures are not negatively impacted by development on the proposed residential parcels, the owner(s) will be required to submit an Engineered Lot Grading Plan prepared by a Professional Engineer licensed in the Province of Ontario to the satisfaction of the Township of South-West Oxford as part of the Building Permit process.

Upper Thames River Conservation Authority (UTRCA) Staff reviewed the applications and Scoped Environmental Impact Study (EIS) and provided the following comments:

- UTRCA Staff held an informal pre-application consultation with an agent acting on behalf of the owner and communicated the following information.
  - The property is regulated by the UTRCA, and UTRCA policy does not support the fragmentation of hazard lands through lot creation.
  - Any new lot created would need to be located outside of the erosion hazard associated with the eastern watercourse (UT-SO-257) to ensure all future development would be located outside of the hazard, as per Section 5.2 of the Provincial Planning Statement (PPS 2024), which directs development to be located outside of lands impacted by flooding and erosion hazards and includes the creation of a lot within the definition of development.
  - In the absence of a slope stability assessment identifying the extent of the erosion hazard, UTRCA staff provided approximate regulated areas mapping and indicated that if all new lots were to be placed outside of the mapped regulated area, UTRCA staff would have no objections to the formal consent applications, and the future residential development would not be subject to Section 28 Permit requirements.
- B25-51-4 (Proposed Lot 1) and associated Zone Change Application ZN 4-25-10: no objections.
- B25-53-4 (Proposed Lot 3) and the associated Zone Change Application ZN 4-25-10: no objections.
- B25-52-4 (Proposed Lot 2): Confirm final lot configuration for Proposed Lot 2.
- Section 28 Permit Application and/or Letter of Clearance from UTRCA Regulatory Staff required for any development on the subject lands (including Lot to be Retained).

Oxford County Source Water Protection Staff, Oxford County Public Works Department and Hydro One commented that they reviewed the applications and do not have any comments or concerns.

## Public Consultation

Notice of Complete Application and Notice of Public Meeting regarding the application for Zone Change were provided to surrounding property owners in accordance with the requirements of the Planning Act on December 8, 2025, and April 1, 2026, respectively.

At the time of writing this report, Staff had not received any comments or questions from the public.

## **Planning Analysis**

This application has been reviewed under the policy direction of the Provincial Planning Statement (PPS) and the Official Plan.

This zone change application proposes to rezone lots to be severed via B25-51-4, B25-52-3, and B25-53-4 from 'Development Zone (D)' to 'Special Residential Type 1 Zone (R1-sp)' to recognize their proposed use as residential lots, and to rezone the lot to be retained from 'Development Zone (D)' to 'Residential Type 1 Zone (R1-sp)' to recognize the continued residential use of these lands. All lots are located within the Village of Beachville.

The applicant has indicated that the dimensions and irregular shapes of Proposed Lot 1 and Proposed Lot 2 as illustrated by Plate 1, Plate 2b, and Plate 3, are due to the existing topography of the lands, the irregular shape of the existing property, and an effort to avoid fragmenting natural heritage features.

### *Environmental Impact Study (EIS)*

As previously noted in this report, the subject lands contain Significant Woodlands and Significant Valleylands. More specifically, with respect to these applications, the eastern portion of the lot to be retained and Proposed Lot 2 (B25-52-4) contain Significant Woodlands and Significant Valleylands, and the southern parts of Proposed Lot 2 and Proposed Lot 1 (B25-51-4) contain Significant Valleylands.

As development is proposed on lands containing these features, consistent with Section 3.2.3.3 of the Official Plan, the applicant submitted an EIS to assess the potential impacts of the proposal on existing natural heritage features contained on the subject lands, illustrate mitigation methods to minimize impacts on existing natural features, and illustrate how the proposal conforms to the applicable policy framework. Planning Staff note that the Notice of Decision for Proposed Lots 1 and 2, include the following conditions:

1. the owner is required to update the EIS to the satisfaction of the County; and,
2. the owner shall provide a woodland planting plan, with appropriate securities, to provide compensation for any woodland removal on the subject lands at a ration greater than 1:1, to the satisfaction of the County.

Provided these conditions are implemented, Planning staff consider the proposal to be consistent with the PPS policies in Section 4.1 respecting development adjacent to significant woodlands and valleylands and the Official Plan policy objectives in Section 3.2.3.3 to minimize impact on natural heritage features, support the long-term ecological function of natural heritage features, and provide opportunities to achieve a net environmental gain on the subject lands.

### *Official Plan*

The proposal to facilitate low density residential development in the form of single detached dwellings, served by private services is consistent with the Official Plan direction for limited growth, appropriate for the lot areas required private servicing within Villages. The proposed single detached dwellings will be consistent with existing development in the area, and the lots are large enough to accommodate the required private services, and it has been demonstrated through the EIS that the proposal will appropriately respect natural heritage features and natural hazards present on the lands and adjacent lands.

As noted, the subject lands are located within 300 m (3,229.2 ft) of the CN Rail Line which is located south of Oxford Street and south of existing residential lots (and dwellings). While it is an objective of the Official Plan to prevent or minimize the encroachment of noise sensitive land uses on these areas, the Official Plan does provide that the typical setbacks and the need for a noise study may be waived for the purpose of infill development on existing lots of record where the proposed development is to be located no closer to the rail line than existing sensitive land uses in the immediate area. Based on the site sketch submitted by the applicant (Plate 3), the proposed new residential lots are further away from the existing rail line and separated by existing residential development on Oxford Street and Raglan Street, and as such Planning staff are satisfied that the proposal meets the policy criteria for development in proximity to adjacent rail line corridors. CN provided comments on the proposal which included their standard conditions for development; these have been included in the recommended conditions of approval. Planning staff are satisfied that the proposed residential development will be sufficiently set back, located further from existing residential development, and therefore appropriately buffered from the adjacent rail line to the south to meet the policy intent of the PPS and Official Plan for development in proximity to rail facilities.

### *Township Zoning By-Law*

The proposed new residential lots generally meet the requirements of the 'R1' Zone, save for the requested relief previously outlined in this report.

To facilitate this proposal and provide frontage and access onto Raglan Street for Proposed Lots 1 and 2, the owner purchased portion of the unopened Henrietta Street Road Allowance from the Township. The resulting lot frontages for these lots are the maximum widths that can be accommodated within the former road allowance. The Township's Public Works Department noted that these proposed frontages meet the Township's minimum driveway width of 5.2 m (17 ft). The Township Building Services Department, Public Works Department, and Fire and Emergency Services Department indicated that a 10 m (32.8 ft) frontage is sufficient, and no concerns were identified regarding the proposed accesses to Raglan Street. Planning Staff note that the Notice of Decision for Consent File Nos. B25-51-4, B25-52-4 includes a requirement that the owner provide confirmation of the location and dimensions of all legal rights-of-way, easements and/or vehicular access for providing access for firefighting and emergency purposes and that they are consistent with Ontario Building Code and Fire Code.

To address potential issues regarding ongoing maintenance of the side-by-side driveways for Proposed Lot 1 and Proposed Lot 2, the Notice of Decision included a condition that the owner is required to enter into any necessary Agreements with the Township for both the municipal storm services and the maintenance of the access driveways to Raglan Street. The Reference Plan and Easement Agreement shall indicate all cost-sharing requirements and maintenance responsibilities and shall be registered on title.

To ensure that the proposed lots are developed in a manner consistent with Township regulations and standards, and that adjacent existing residential lots and structures are not negatively impacted by development on the proposed new residential lots, all required information, studies, and plans will be identified as part of the Building Permit process (e.g. engineered Lot Grading Plan prepared by a Professional Engineer). Review and analysis of this information will occur at the Building Permit stage. Items including but not limited to site grading, site drainage, the proposed location of well and septic systems, and accesses and connections to the Raglan Street Drain will be included in this review and analysis.

Overall, Planning staff are of the opinion that the proposed residential development is consistent with the Provincial Planning Statement and maintains the intent of Official Plan with respect to residential development adjacent to natural heritage features in designated Settlement Areas and are recommending that the zone change application be approved-in-principle, pending the completing of a survey to prepare the required by-law schedules.

## **RECOMMENDATIONS**

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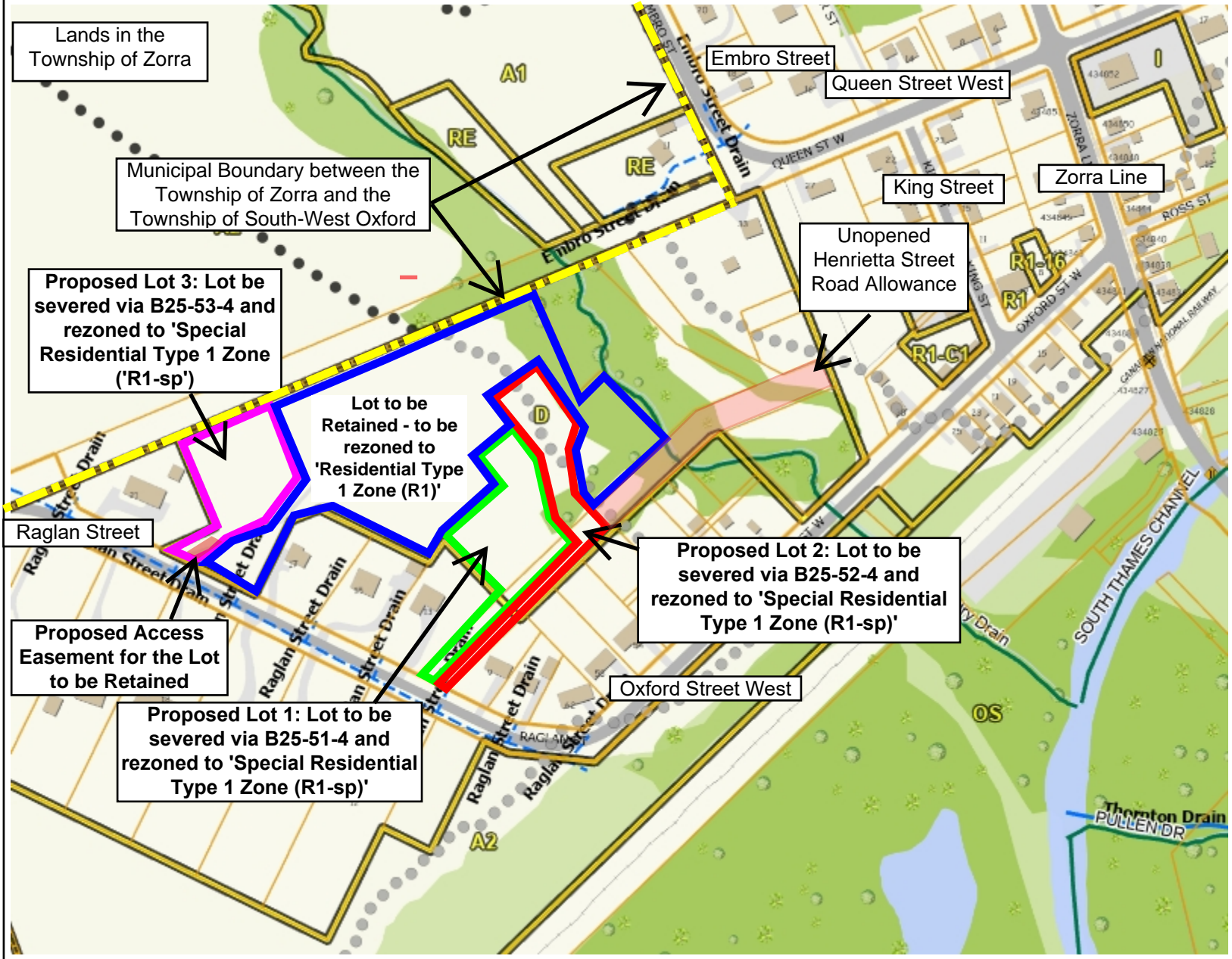
**It is recommended that the Council of the Township of South-West Oxford approve-in-principle the zone change application submitted by Teresa Ptak (ZN 4-25-10), whereby the lands described as Lots 120-123, 133, 143-149, Part Lots 124-127, 130-132, 134, 141-142, and Part of Henrietta Street, Plan 75 between Raglan Street and Head Street, and Part 1 on Plan 41R-10873 (PIN 0142-0137), Township of South-West Oxford are to be rezoned to from 'Development Zone (D)' to 'Special Residential Type 1 Zone (R1-sp)' and 'Residential Type 1 Zone (R1)' as described in Report No. CP 2026-111.**

## **SIGNATURES**

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Authored by:	Original Signed By	Laurel Davies Snyder, RPP, MCIP Development Planner
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Approved for submission:	Original Signed By	Eric Gilbert, MCIP, RPP Manager of Development Planning
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Lands in the Township of Zorra

Municipal Boundary between the Township of Zorra and the Township of South-West Oxford

**Proposed Lot 3: Lot to be severed via B25-53-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'**

Lot to be Retained - to be rezoned to 'Residential Type 1 Zone (R1)'

**Proposed Lot 2: Lot to be severed via B25-52-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'**

Raglan Street

**Proposed Access Easement for the Lot to be Retained**

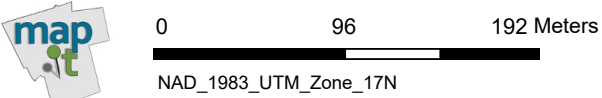
**Proposed Lot 1: Lot to be severed via B25-51-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'**

Oxford Street West

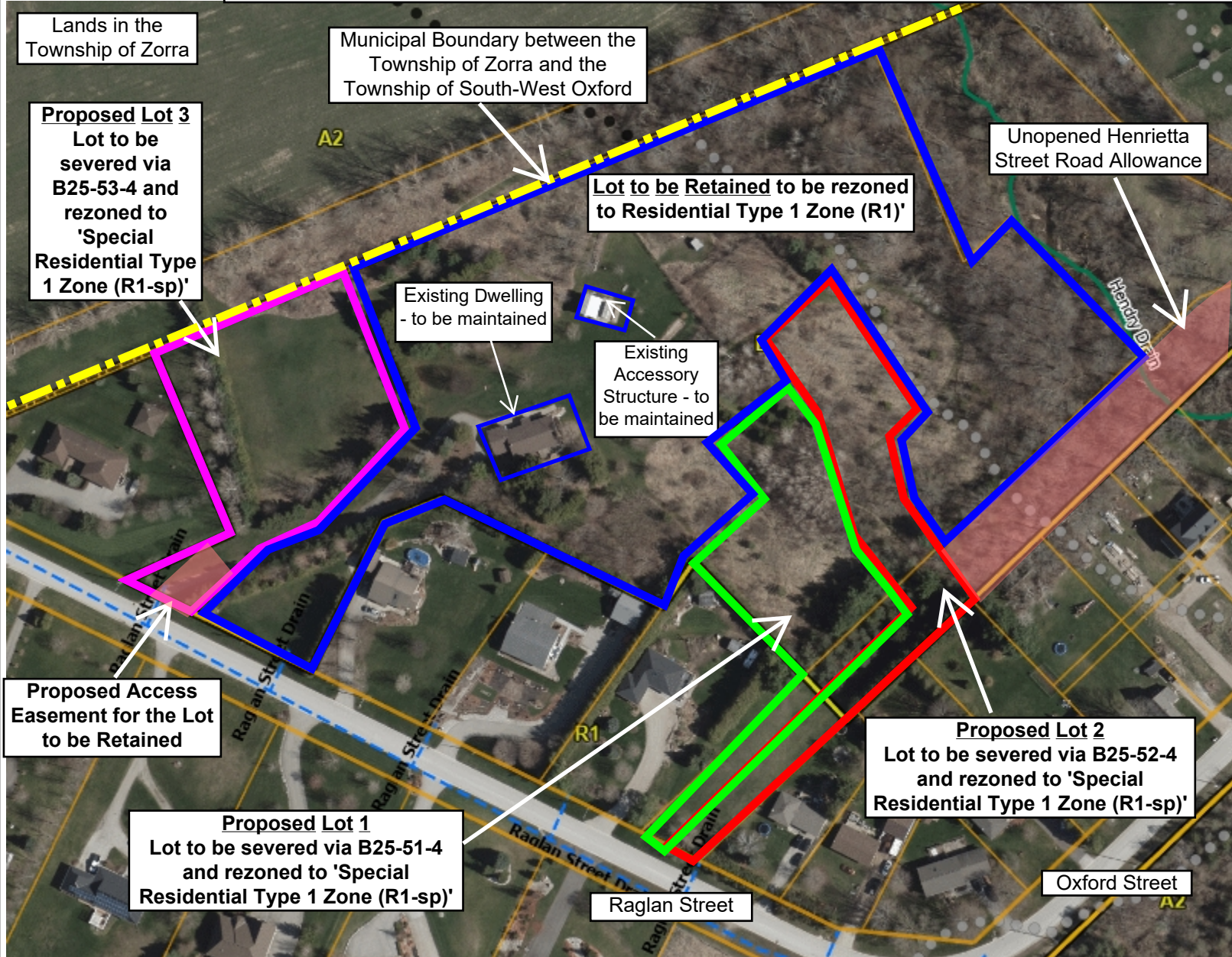
### Legend

- Parcel Lines
  - Property Boundary
  - Assessment Boundary
  - Unit
  - Road
  - Municipal Boundary
- Zoning Floodlines Regulation Limit
  - 100 Year Flood Line
  - 30 Metre Setback
  - Conservation Authority Regulation Limit
  - Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)
- Constructed Drains
  - Open or Unknown
  - Closed/Tiled
- SWOX Constructed Drains
  - Open
  - Closed/Tiled

### Notes



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey



**Legend**

- Parcel Lines
  - Property Boundary
  - Assessment Boundary
  - Unit
  - Road
  - Municipal Boundary
- Zoning Floodlines
  - Regulation Limit
    - ◆ 100 Year Flood Line
    - ▲ 30 Metre Setback
    - Conservation Authority Regulation Limit
    - Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)
- Constructed Drains
  - Open or Unknown
  - Closed/Tiled
- SWOX Constructed Drains
  - Open
  - Closed/Tiled

**Notes**



Lands in the Township of Zorra

Municipal Boundary between the Township of Zorra and the Township of South-West Oxford

**Proposed Lot 3**  
Lot to be severed via B25-53-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'

**Lot to be Retained to be rezoned to Residential Type 1 Zone (R1)'**

Unopened Henrietta Street Road Allowance

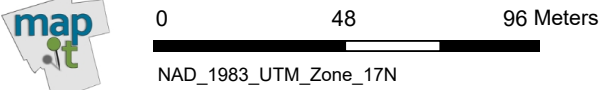
Existing Dwelling - to be maintained

Existing Accessory Structure - to be maintained

**Proposed Access Easement for the Lot to be Retained**

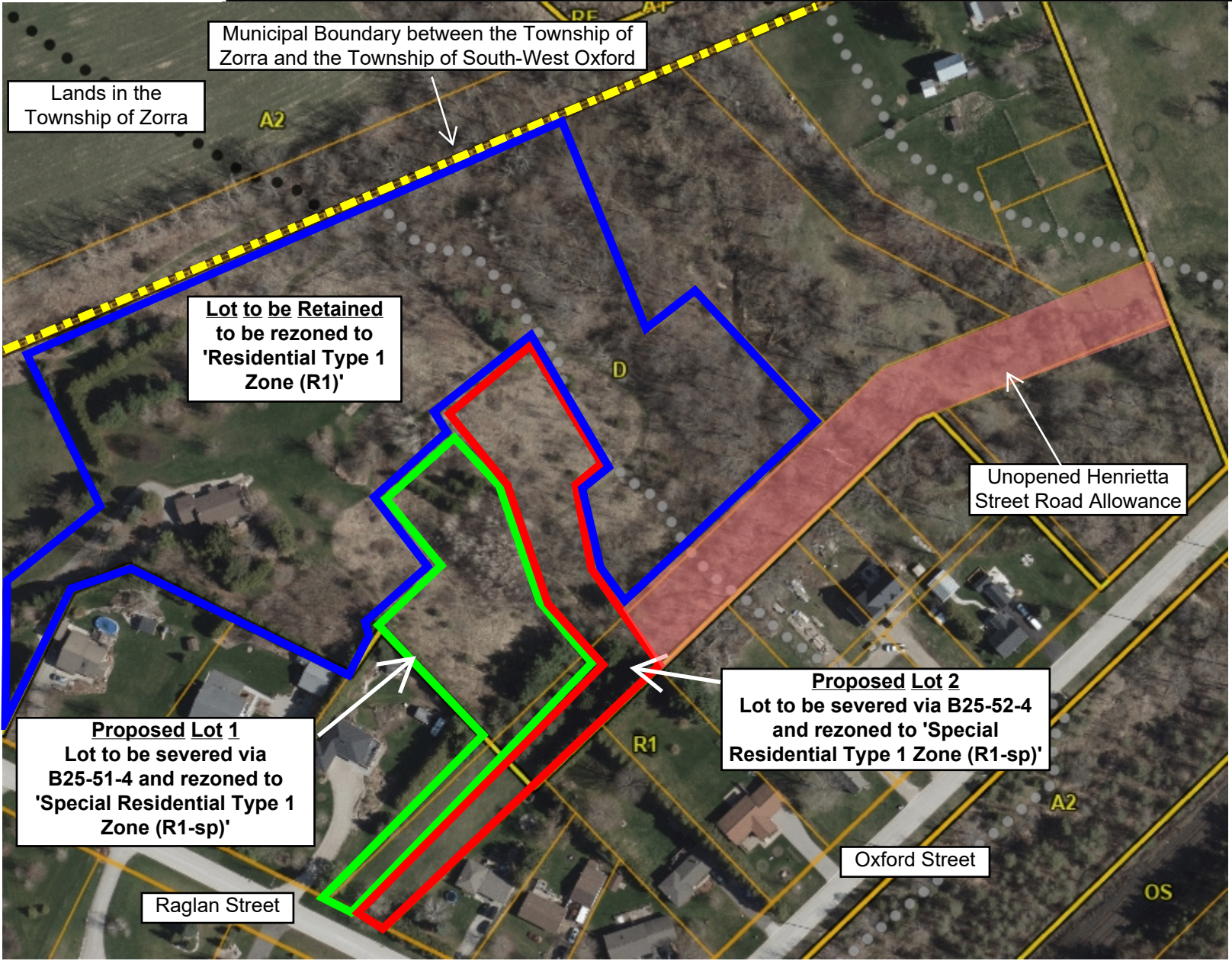
**Proposed Lot 1**  
Lot to be severed via B25-51-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'

**Proposed Lot 2**  
Lot to be severed via B25-52-4 and rezoned to 'Special Residential Type 1 Zone (R1-sp)'



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey

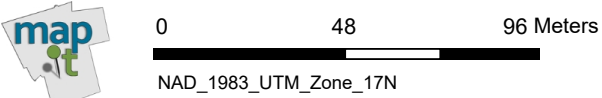
November 3, 2025



**Legend**

- Parcel Lines
  - Municipal Boundary
  - Property Boundary
  - Assessment Boundary
  - Road
  - Unit
- Zoning Floodlines
  - Regulation Limit
    - 100 Year Flood Line
    - 30 Metre Setback
    - Conservation Authority Regulation Limit
    - Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

**Notes**



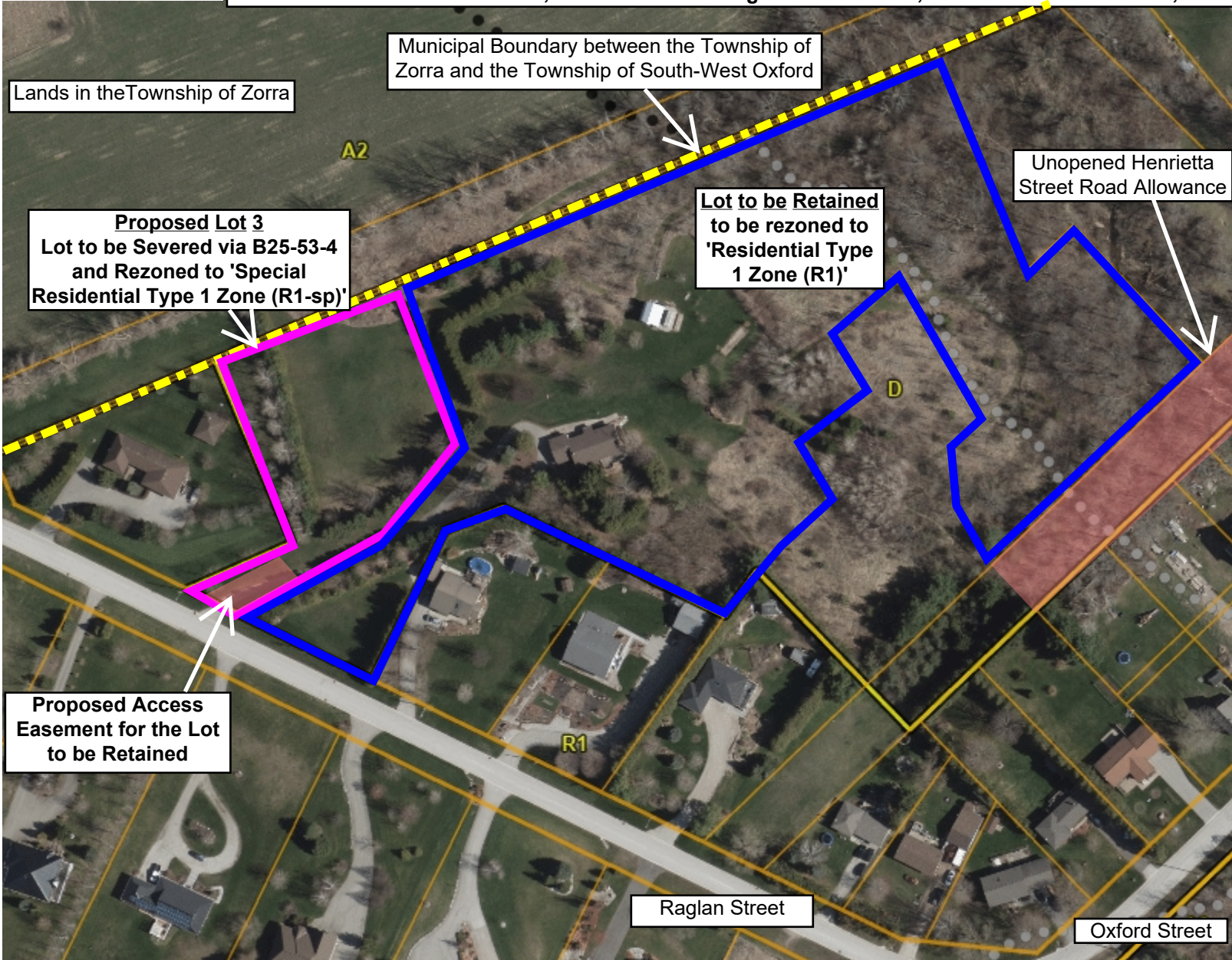
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey

February 13, 2026

**Plate 2c: Aerial Map B Proposed Lot 3 (B25-53-4)**

File Nos.: B25-51-4; B25-52-4; B24-53-4 (Ptak)

Plan 75, Lots 120-123, 133, 143-149, Part Lots 124-127, 130-132, 134, 141-142 as in 426399 and Part of Henrietta Street, Plan 75 between Raglan St & Head St; Part 1 on Plan 41R-10873, Township of South-West Oxford



Lands in the Township of Zorra

Municipal Boundary between the Township of Zorra and the Township of South-West Oxford

**Proposed Lot 3**  
Lot to be Severed via B25-53-4 and Rezoned to 'Special Residential Type 1 Zone (R1-sp)'

**Lot to be Retained**  
to be rezoned to 'Residential Type 1 Zone (R1)'

Unopened Henrietta Street Road Allowance

**Proposed Access Easement** for the Lot to be Retained

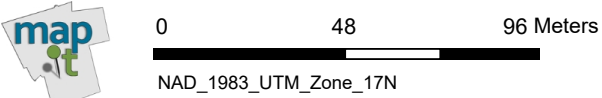
Raglan Street

Oxford Street

**Legend**

- Parcel Lines**
  - Municipal Boundary
  - Property Boundary
  - - - Assessment Boundary
  - Road
  - Unit
- Zoning Floodlines Regulation Limit**
  - ◆ 100 Year Flood Line
  - ▲ 30 Metre Setback
  - Conservation Authority Regulation Limit
  - Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

**Notes**



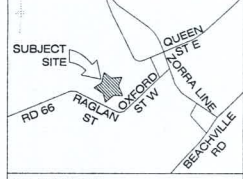
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey

February 13, 2026

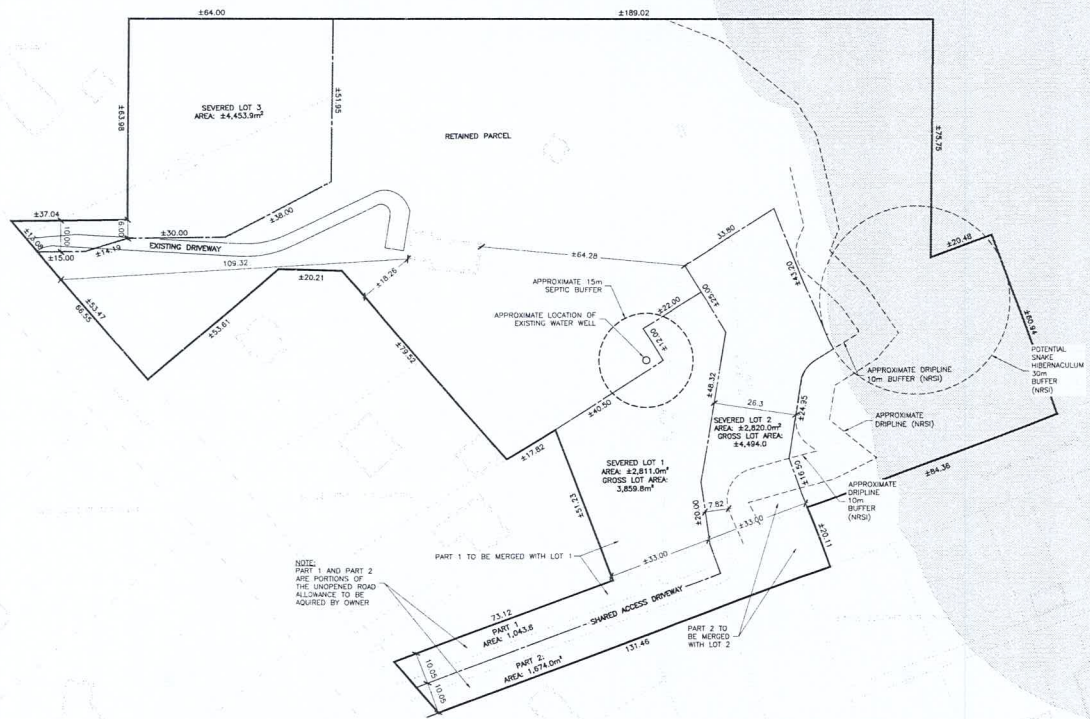
**Plate 3: Applicants' Sketches**

**File No.: ZN 4-25-10(Ptak)**

**Plan 75, Lots 120-123, 133, 143-149, Part Lots 124-127, 130-132, 134, 141-142 as in 426399 and Part of Henrietta Street, Plan 75 between Raglan St & Head St; Part 1 on Plan 41R-10873, 19 Raglan Street Township of South-West Oxford**



**KEY PLAN**  
N.T.S.



NOTE:  
PART 1 AND PART 2  
ARE PORTIONS OF  
THE UNDEVELOPED ROAD  
ALLIANCE TO BE  
ACQUIRED BY OWNER

**ZONING DATA CHART**  
**RETAINED PARCEL**

ITEM	RESIDENTIAL TYPE 1 ZONE (R1)	REQUIRED	PROVIDED
1	NUMBER OF SINGLE DETACHED DWELLINGS PER LOT (MAX)	1	1
2	LOT AREA (m <sup>2</sup> MIN ON SEPTIC)	2,800.0	25,559.28
3	LOT FRONTAGE (m MIN ON SEPTIC)	35.0	53.47
4	LOT DEPTH (m MIN ON SEPTIC)	80.0	>80.0 (EXISTING)
5	FRONT YARD (m MIN DEPTH)	10.0	>10.0 (EXISTING)
6	EXTERIOR SIDE YARD (m MIN WIDTH)	10.0	N/A
7	REAR YARD (m MIN DEPTH)	7.5	>7.5 (EXISTING)
8	INTERIOR SIDE YARD (m MIN WIDTH)	1.5	18.2
9	SETBACK (m MIN DISTANCE FROM THE CENTRELINE OF A PROVINCIAL HIGHWAY OR A COUNTY ROAD)	25.0	>23.0 (EXISTING)
10	LOT COVERAGE (% MAX)	30.0	1.0
11	LANDSCAPED OPEN SPACE (% MIN)	30.0	96.7
12	GROSS FLOOR AREA (m <sup>2</sup> MIN)	50.0	>50.0 (EXISTING)
13	HEIGHT OF BUILDING (m MAX)	11.0	<11.0 (EXISTING)

**ZONING DATA CHART**  
**SEVERED PARCELS**

ITEM	RESIDENTIAL TYPE 1 ZONE (R1)	REQUIRED	LOT 1	LOT 2	LOT 3
1	NUMBER OF SINGLE DETACHED DWELLINGS PER LOT (MAX)	1	1	1	1
2	LOT AREA (m <sup>2</sup> MIN ON SEPTIC)	2,800.0	3,859.8	4,494.0	4,453.9
3	LOT FRONTAGE (m MIN ON SEPTIC)	35.0	10.09*	10.09*	10.09*
4	LOT DEPTH (m MIN ON SEPTIC)	80.0	80.2	92.3	106.44
5	FRONT YARD (m MIN DEPTH)	10.0	TBD	TBD	TBD
6	EXTERIOR SIDE YARD (m MIN WIDTH)	10.0	TBD	TBD	TBD
7	REAR YARD (m MIN DEPTH)	7.5	TBD	TBD	TBD
8	INTERIOR SIDE YARD (m MIN WIDTH)	1.5	TBD	TBD	TBD
9	SETBACK (m MIN DISTANCE FROM THE CENTRELINE OF A PROVINCIAL HIGHWAY OR A COUNTY ROAD)	25.0	>23.0	>23.0	>23.0
10	LOT COVERAGE (% MAX)	30.0	TBD	TBD	TBD
11	LANDSCAPED OPEN SPACE (% MIN)	30.0	TBD	TBD	TBD
12	GROSS FLOOR AREA (m <sup>2</sup> MIN)	50.0	TBD	TBD	TBD
13	HEIGHT OF BUILDING (m MAX)	11.0	TBD	TBD	TBD

**LEGEND:**

- LIMITS OF SUBJECT PROPERTY
- PROPOSED SEVERANCE LINES
- EXISTING BUILDINGS
- EXISTING LOT LINES
- EXISTING ASPHALT
- REGULATED LANDS UTRCA

**REFERENCE DOCUMENTS:**

1. OXFORD COUNTY GIS MAPPING, 2019 DATA
2. PTAK SEVERANCE NATURAL FEATURES MAP 1, DATED FEBRUARY 9, 2024 BY NESH INC.
3. UTRCA REGULATION LIMIT 2024 05 01 - THAMES RIVER CA MAPS

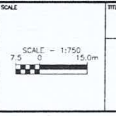
PARCELS, BUILDINGS AND EXISTING INFORMATION ARE APPROXIMATE AND FOR REFERENCE ONLY.  
CONCEPT IS PRELIMINARY AND HAS NOT BEEN REVIEWED BY THE CITY.  
THE PLAN IS COMPILED AND SHOULD NOT BE CONSIDERED A PLAN OF SURVEY.

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	JR	1	INITIAL DESIGN FOR REVIEW	30/09/24	JR	
DESIGN	JR	2	REVISED FOR SUBMISSION	09/10/24	SC	
CHECKED	BN	3	REGULATED UTRCA LANDS ADD TO PLAN	17/10/24	SC	
APPROVED	BN	4	REVISED AS PER COMMENTS	11/04/25	SC	
DATE		5	REVISED FOR SUBMISSION	20/05/25	SC	
		6	REVISED FOR SUBMISSION	20/05/25	SC	
CO#		24-1903				

**STRIK BALDINELLI MONIZ**  
1699 Adelaide St. N. Unit 301, London, Ontario, N6Y 4E8  
Tel: (519) 471-6667 Fax: (519) 471-0034  
Email: sbm@sbm3.ca

**PRELIMINARY NOT FOR CONSTRUCTION**

**TERESA PTAK**  
PO BOX 275  
BEACHVILLE, ON  
N0J 1A0  
E: tpak@execulink.com



**SEVERANCE SKETCH**  
**CONSENT APPLICATION**  
31 RAGLAN STREET  
BEACHVILLE, ON. (TOWNSHIP OF SOUTH-WEST OXFORD)

**PROJECT No.**  
SBM-24-1903  
**SHEET No.**  
SP1  
**PLAN FILE No.**

**GENERAL NOTES:**

1. THE CONTRACTOR IS TO REVIEW AND CORRECT ALL EXISTING CONDITION INFORMATION & INFORM STRIK, BALDWINELL MONIZ LTD. (SBM) IN NO WAY ACCEPTS RESPONSIBILITY FOR ANY INACCURACIES FOUND ON THIS PLAN RELATIVE TO EXISTING CONDITIONS FOR THE SITE.
2. SEALS FOR SEWER SYSTEM DESIGN IN GENERAL CONFORMANCE WITH THE MOST RECENT EDITION OF THE ONTARIO BUILDING CODE (OBC), PART 8.
3. THIS PLAN IS INTENDED FOR THE PURPOSES OF LOT SEVERANCE. SEPTIC DESIGN IS TO BE CONFIRMED UPON FINALIZATION OF FUTURE HOUSE PLANS AND CONSTRUCTION.
4. CONTRACTOR OR OWNER TO PAY FOR ALL NECESSARY PERMITS.
5. CONTOURS WERE CREATED BASED ON TERMIAN DATA OBTAINED FROM THE DIGITAL TERMIAN MODEL (DTM) DATA (ONMAPRA LEAR 2018-19 LAKE EIRE PACKAGED). CONTOURS SHOWN ARE APPROXIMATE. A TOPOGRAPHIC SURVEY OF THE SUBJECT SITE IS TO BE CONDUCTED PRIOR TO ANY CONSTRUCTION.

**CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL MEET ALL PRECAUTIONARY MEASURES UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT AS REQUIRED BY THE MINISTRY OF LABOUR.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MOST RECENT EDITION OF THE OBC.
3. ALL WORK IN THE MUNICIPAL ROAD ALLOWANCE SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT. THE STANDARD CONTRACT DOCUMENTS FOR MUNICIPAL CONSTRUCTION PROJECTS AS ADOPTED AND AS AMENDED FROM TIME TO TIME ARE TO BE APPLIED TO WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE UNLESS OTHERWISE APPROVED BY THE MUNICIPAL ENGINEER. THE CONTRACTOR IS REQUIRED TO OBTAIN A PAY FOR ROAD TO WORK IN MUNICIPAL ROAD.
4. PRIOR TO COMMENCING ANY WORK ON THE INSTALLATION OF SERVICES, AN APPROVED SET OF PLANS AND SPECIFICATIONS MUST BE AVAILABLE ON THE JOB AND SHALL REMAIN THERE WHILE WORK IS BEING DONE.
5. THE OWNERS OF THE UTILITIES MUST BE NOTIFIED AT LEAST TWO WEEKS PRIOR TO CONSTRUCTION ON ANY EXISTING MUNICIPAL ROAD ALLOWANCE. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION SITE SHALL BE LOCATED AND MARKED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
6. PRIOR TO COMMENCING ANY CONSTRUCTION, ALL SEWER OUTLET INFORMATION, BENCHMARKS, ELEVATIONS, AND DIMENSIONS MUST BE CHECKED BY THE CONTRACTOR AND VERIFIED AND ANY DISCREPANCIES REPORTED TO THE ENGINEER.
7. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES TO CONTROL SET ENTERING THE STORM DRAINAGE SYSTEM TO THE SPECIFICATIONS OUTLINED IN THE GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES PREPARED BY THE MINISTRY OF NATURAL RESOURCES. THESE MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCING ANY CONSTRUCTION FOR THIS PROJECT AND ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED TO THE SPECIFICATIONS OF THE MUNICIPALITY'S ENGINEERING DEPARTMENT.
8. ALL EXISTING UNDERGROUND UTILITY (TELEPHONE DUCT, GAS MAINS, SEWER, WATERMAIN) THAT WILL BE CROSSED UNDER DURING THE INSTALLATION OF SERVICES FOR THIS DEVELOPMENT SHALL BE SUPPORTED, AS MAY BE REQUIRED BY THE OWNERS OF THE UTILITY BEING CROSSED UNDER.
9. THE CONTRACTOR SHALL INFORM THE MUNICIPAL PUBLIC TRANSPORT COMMISSION AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION ON ANY STREET THAT IS AN MUNICIPAL PUBLIC TRANSPORT BUS ROUTE THAT WILL BE AFFECTED BY CONSTRUCTION.
10. THE OWNER/CONTRACTOR SHALL HAVE ITS PROFESSIONAL ENGINEER PROVIDE FULL-TIME INSPECTION DURING CONSTRUCTION ON AN EXISTING MUNICIPAL STREET OR EASEMENT AND PROVIDE A CERTIFICATE OF COMPLETION OF WORKS UPON COMPLETION OF ALL WORKS TO BE CONSTRUCTED.
11. THE CONTRACTOR IS RESPONSIBLE FOR:
  - CONNECTING AN EXISTING SEWER OR DRAIN UNDOCUMENTED DURING CONSTRUCTION TO A NEW SEWER OF SIMILAR SIZE AND MATERIAL OR INTO ANOTHER EXISTING SEWER.
  - ENSURING THAT THERE IS NO INTERFERENCE OF ANY SURFACE OR SUBSURFACE DRAINAGE FLOW THAT WOULD ADVERSELY AFFECT NEIGHBOURING PROPERTIES.
  - 12. STAY FULL DEPTH OF TOPSOIL IN AREAS TO BE DISTURBED AND STOCKPILE FOR RE-USE IN GRASSY/UNGRADED AREAS.
  - 13. ALL SURFACES WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO A CONDITION AT LEAST AS GOOD AS ORIGINAL OR AS PER BELOW (WHOMEVER IS GREATER) OR IF WITHIN THE MUNICIPAL RIGHT OF WAY TO THE SATISFACTION OF THE MUNICIPAL ENGINEER. ALL AT NO COST TO THE MUNICIPALITY.
    - 13.1. GRADED AREAS TO BE RESTORED +/- 100mm TOPSOIL + SEED CATCHER OF THE OBC. ALL SERVICE BACKFILL MUST BE COMPACTED TO 95% STANDARD MAXIMUM DRY DENSITY (MINIMUM) (SEE FOR PAVED AREAS)
    - 14. ALL PROPOSED SANITARY SEWER PIPE TO BE AS PER THE MOST RECENT EDITION OF THE OBC. ALL SERVICE BACKFILL MUST BE COMPACTED TO 95% STANDARD MAXIMUM DRY DENSITY (MINIMUM) (SEE FOR PAVED AREAS)
    - 15. ALL SANITARY SEWER PIPE SHALL BE INSTALLED USING A LASER LEVEL.

**REFERENCE DOCUMENTS**

1. SEWERAGE SKETCH PREPARED BY SBM, DATED OCTOBER 9, 2024
2. GEOTECHNICAL SERVICES BY EXP., PROJECT NO. LDH-24005048-A0, DATED MAY 15, 2023

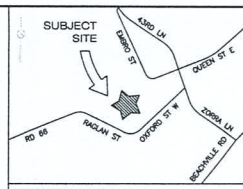
**UTILITIES NOTES:**

1. ALL WORK FOR COORDINATION, DESIGN, AND CONSTRUCTION OF ANY REQUIRED UTILITY WORK (SHOWN OR NOT) IS BY OTHERS. SBM'S DESIGN AND DRAWINGS ARE FOR PRIVATE SEPTIC SYSTEM ONLY. ANY UTILITY INFORMATION SHOWN IS FOR REFERENCE/COORDINATION PURPOSES ONLY AND MAY NOT BE ACCURATE.
2. ALL EXISTING UNDERGROUND SERVICES OR UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION SITE SHALL BE LOCATED AND MARKED. ANY UTILITIES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING BODY AT THE CONTRACTOR'S EXPENSE.
3. ALL EXISTING UNDERGROUND UTILITY (TELEPHONE, HYDRO, GAS, CABLE, SEWER, WATERMANS, ETC) THAT WILL BE CROSSED UNDER DURING THE INSTALLATION OF SERVICES FOR THIS DEVELOPMENT SHALL BE SUPPORTED, AS MAY BE REQUIRED BY THE OWNERS OF THE UTILITY BEING CROSSED UNDER.
4. OWNER'S CONTRACTOR TO LOCATE/VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
5. OWNER'S CONTRACTOR TO COORDINATE WITH UTILITIES PROVIDER FOR BRACING, DECOMMISSIONING AND/OR RELOCATION OF EXISTING GAS, HYDRO, TELEPHONE, CABLE, ETC. SERVICES, IF REQUIRED.

**SEPTIC SYSTEM NOTES:**

1. DURING CONSTRUCTION, THE AREA OF THE PROPOSED BESS SHALL BE THOROUGHLY INVESTIGATED FOR THE PRESENCE OF ANY EXISTING SUBSURFACE DRAINAGE TILES AND ANY SUCH SYSTEM SHOULD BE EFFECTIVELY SEALED FROM THE SEWERAGE SYSTEM BED. SLOPE OF BASE FOR PLACING SAND LAYER (DIRECTION OF FLOW IS TO BE 0.3% TO 0.5%.
2. DISTRIBUTION PIPE IS TO BE PERFORMED 75mm TO 100mm DIA. TO CSA 182.1 OR 182.6. THE SLOPE OF THE PIPE FROM INLET TO END IS TO BE UNIFORM @ 0.3% TO 0.5%.
3. THE LOWER END OF THE DISTRIBUTION PIPE MAY BE EITHER CAPPED OR INTERCONNECTED BY SOLID-WALLED PIPE. INLET AND HEADER END CONNECTIONS TO BE 75mm TO 100mm DIA. PVC (NON-PERFORATED) TO CSA 182.1, 182.2 OR 182.6.
4. THE STONE AROUND THE DISTRIBUTION PIPE SHALL CONFORM TO OBC 8.7.3.3(5) AND 8.7.7.1(5).
5. THE STONE LAYER IS TO BE COMPLETELY COVERED WITH UNGRADED BUILDING PAPER OR GEOTEXTILE (TERMAFIX 270R OR EQUAL), TO PREVENT SOIL FROM ENTERING THE STONE.
6. THE FILTER MEDIA SAND, WEREAS SHOWN, SHALL CONFORM TO OBC 8.7.2.1(4) AND (5).
7. THE FINAL SURFACE IS TO BE SLOOED OR SEEDED AND GRADED SUCH THAT WATER WILL DRAIN AWAY FROM THE TLE BED SURFACE.
8. COTTON SPRINGS OF TREES SUCH AS YEW AND POPLAR WITHIN 50m (MIN) OF THE LEACHING OR FILTER BED SHOULD BE REDUCED TO PREVENT CLOSING OF PIPE BY TREE ROOTS.
9. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER TO BE 75mm OR 100mm DIA. PVC SOE, LAID AT 2.0% MIN. GRADE. INSULATION MAY BE PROVIDED THROUGH AIRSPACE VIA A LARGER DIAMETER PIPE SLEEVE OR AS PER THE SEWER INSULATION DETAIL ON SHEET C1 IF 1.2% DEPTH OF COVER IS NOT PROVIDED.
10. DISTRIBUTION BOXES, IF ANY, AND SEPTIC TANKS ARE TO BE AS DETAILED IN PLAN AND ARE TO BE CSA APPROVED. DISTRIBUTION BOX TO BE INSTALLED ON 200mm LEVEL COMPACTED GRANULAR 'A' OR 150mm (6") CLEAR STONE BACKFILL TO BE COMPACTED GRANULAR MATERIAL. DISTRIBUTION BOXES ARE TO BE WRAPPED WITH 75mm (3") WATERPROOF INSULATION.
11. ALL GRADED AREAS TO BE RESTORED WITH 100mm (4") TOPSOIL AND SEED OF 500 UNLESS OTHERWISE NOTED.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH MINISTRY OF THE MUNICIPAL AFFAIRS AND HOUSING AND THE ONTARIO BUILDING CODE, ONTARIO REGULATION 350/06 AS AMENDED.
13. LOT LINES MUST BE CLEARLY MARKED ON THE SITE ADJACENT TO THE TLE BED.
14. FINAL AND FINISHED GRADES MUST BE MARKED ON THE FOUNDATION PRIOR TO INSTALLATION.
15. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN FOR A FINAL INSPECTION.
16. THE SUBSURFACE DRAINAGE PIPES, SEPTIC TANK AND TLE DRAIN SYSTEM MUST NOT BE BACKFILLED UNTIL AUTHORIZED BY THE INSPECTOR.
17. ROOF RAINWATER DOWN SPOUTS AND SUMP PUMP DISCHARGE TO BE DIRECTED AWAY FROM TLE BED AREA.
18. ADDITIONAL LEACHING BED FILL SHALL HAVE A PERCOLATION TIME NOT LESS THAN 70% OF ORIGINAL SOIL (OBC 8.7.4.2(2)) UNLESS ON TOP OF THE STONE LAYER (OBC 8.7.4.2(4)).
19. THE HEADER LINE AND DISTRIBUTION TILES SHALL BE DESIGNED AND CONSTRUCTED TO BE DETECTED BY MEANS OF 14 GAUGE TW SOLD COPPER LIGHT COLOURED PLASTIC COATED TRACER WIRE.
20. ALL EFFLUENT FILTER SHALL BE INSTALLED AT THE OUTLET OF EVERY SEPTIC TANK THAT DISCHARGES EFFLUENT TO A LEACHING BED (OBC 8.1.2.1(1)).
21. NO PART OF THE FILTER BED SHALL BE SLOPED STEEPER THAN 1 UNIT VERTICALLY TO 4 UNITS HORIZONTALLY.
22. SEWERAGE SYSTEM DETACHMENTS SHALL BE:

FROM EDGE OF STONE LAYER	FROM SEPTIC TANKS:
CASED WELL = 15.0m	CASED WELL = 15.0m
UNGRADED WELL = 30.0m	UNGRADED WELL = 15.0m
STRUCTURES = 5.0m	STRUCTURES = 1.5m
PROPERTY LINE = 3.0m	PROPERTY LINE = 3.0m
OPEN WATER = 15.0m	OPEN WATER = 15.0m



**KEY PLAN**  
N.T.S.

**LEGAL INFORMATION**

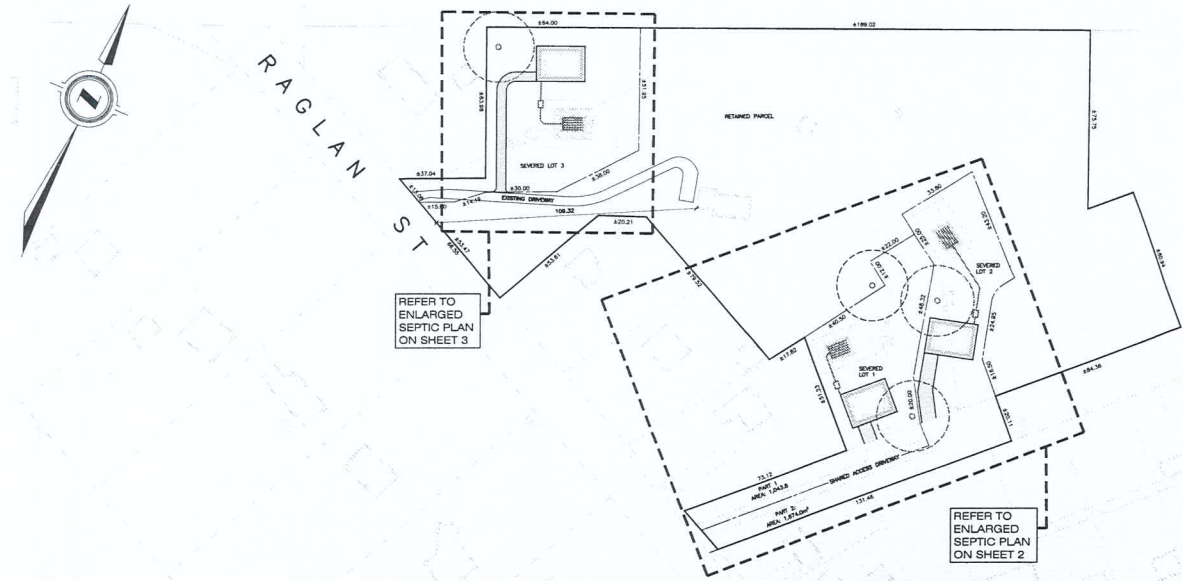
PART OF  
---  
---  
IN THE  
CITY OF LONDON  
COUNTY OF MIDDLESEX

**SITE BENCHMARK:**

MANAGEMENT TYPE:  
LOCATION:  
GEODETIC ELEVATION:  
(CONTRACTOR TO CONFIRM BENCHMARK ELEVATIONS)

**LEGEND:**

- PROPOSED WATER WELL
- PROPOSED SEPTIC TANK LID
- PROPOSED SHALE
- PROPOSED SLOPE
- PROPOSED DRAINAGE DIRECTION
- PROPOSED SANITARY SEWER
- PROPOSED BUILDING
- LIMITS OF SUBJECT PROPERTY
- RAINWATER LEADER
- OVERLAND FLOW ROUTE
- PROPOSED SPOT ELEVATION (DESIGN BY OTHERS)
- PROPOSED SHALE (DESIGN BY OTHERS)
- PROPOSED SLOPE (DESIGN BY OTHERS)
- PROPOSED DRAINAGE DIRECTION (DESIGN BY OTHERS)
- PROPOSED ELEVATION (DESIGN BY OTHERS)
- PROPOSED WINDOW WELL



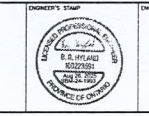
**SEPTIC KEY PLAN**  
SCALE 1:1000

**PRELIMINARY NOT FOR CONSTRUCTION**

LIST OF DRAWINGS	
SHEET C1	SEPTIC KEY PLAN, NOTES, LEGEND, AND DETAILS
SHEET C2	LOT 1 & LOT 2 ENLARGED SEPTIC PLAN & CALCULATIONS
SHEET C3	LOT 3 ENLARGED SEPTIC PLAN & CALCULATIONS

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	LA	1	FOR CLIENT REVIEW	28/10/24	LA	
DESIGN	LA	2	REVISED PER CLIENT COMMENTS	29/11/24	LA	
DESIGNED	ME	3	LOCATED PER REVISED SEWERAGE SKETCH	15/04/25	ME	
APPROVED	ME	4	UPDATED PER CLIENT COMMENTS	08/05/25	LA	
DATE	20/05/2025	5	REVISED FOR SUBMISSION	20/05/25	LA	
DATE	24-1903	6	REVISED FOR SUBMISSION	24/05/25	LA	

**STRIK BALDWINELL MONIZ**  
SBM  
1599 Adelaide St. N, Unit 301, London, Ontario, N6G 4E8  
Tel: (519) 474-6667 Fax: (519) 471-0024  
Email: sbm@sbm.ca

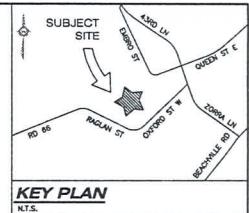
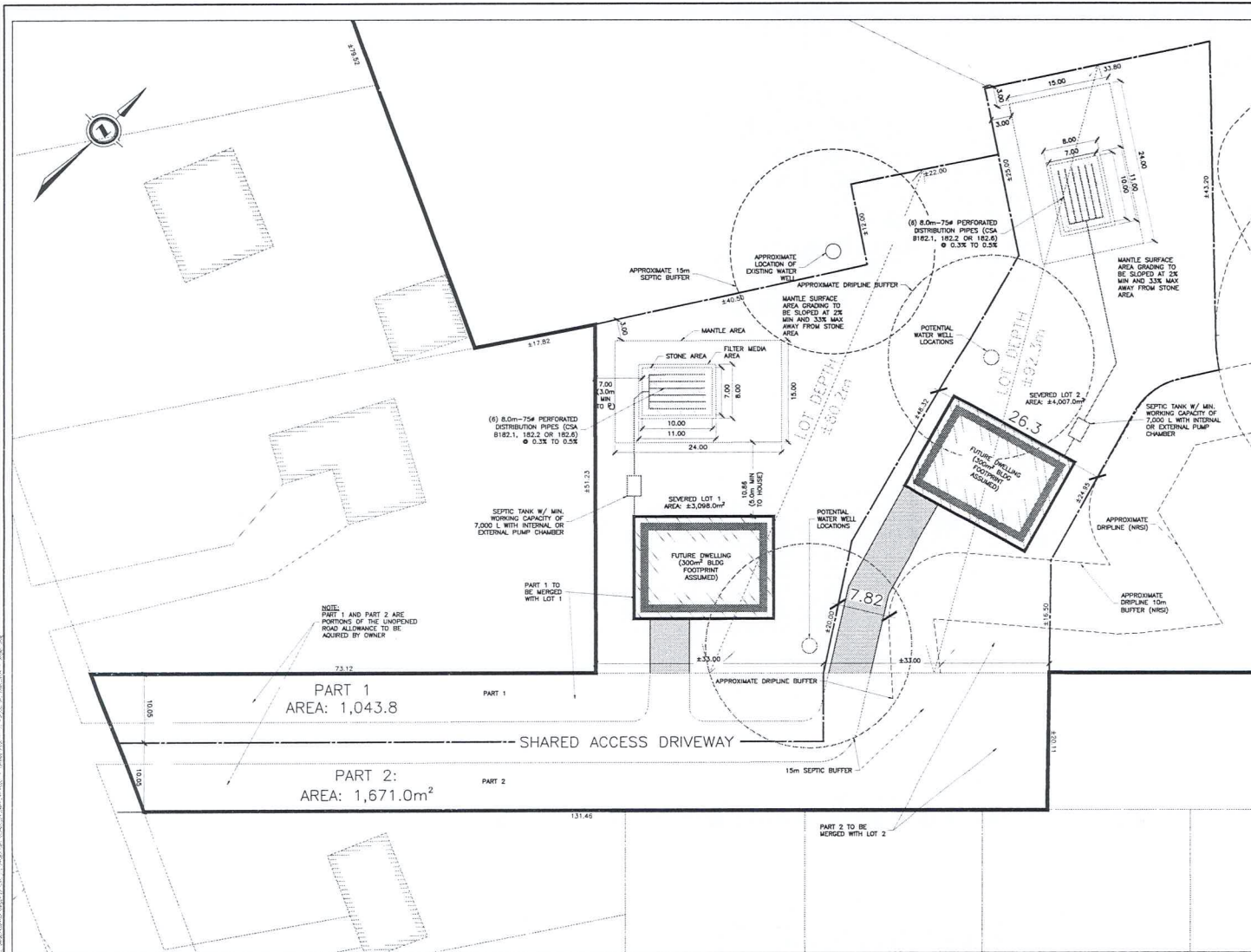


CLIENT: **TERESA PTAK**  
PO BOX 275  
BEACHVILLE, ON  
N0J 1A0  
E: tpak@execulink.com

SCALE: N/A

TITLE: **SEPTIC KEY PLAN, NOTES, LEGEND, AND DETAILS**  
  
**CONCEPT SEPTIC SKETCH**  
31 RAGLAN STREET  
BEACHVILLE, ON.

PROJECT NO.: **SBM-24-1903**  
SHEET NO.: **C1**  
PLAN FILE NO.: ---



**SEPTIC SYSTEM DESIGN INFO.**

SUPPLEMENTARY INFORMATION SHEET  
ONWARD BUILDING CODE, PART 8, (SEWAGE SYSTEMS)  
ESTIMATION OF FIXTURE UNITS (DESC. TABLE 7.4.8.3.)

INDIVIDUAL ITEMS	HOW MANY	FIXTURE UNITS	TOTAL
BATHROOM GROUP (TOILET, SHW, BATH/TUB)	3	6.0	18.0
TOILET	1	4.0	4.0
WASHBASIN	3	1.5	4.5
BATH/TUB OR SHOWER	1	1.5	1.5
KITCHEN SHW	1	1.5	1.5
DISHWASHER	1	1.5	1.5
WASHING MACHINE	1	1.5	1.5
LAUNDRY TUB	1	1.5	1.5
FLOOR DRAIN	1	2.0	2.0
MAXIMUM ASSUMED FIXTURES			50.0

TOTAL NO. OF BEDROOMS 4  
TOTAL FINISHED FLOOR AREA 350 m<sup>2</sup>  
(EXCLUDING FINISHED BASEMENT)

**DESIGN CAPACITY**  
BASE LOAD (4 BEDROOMS) = 2,000.0 L/DAY  
ADDITIONAL FLOW FOR:  
(I) BEDROOMS OVER 5 (0) x 500 = 0.0 L/DAY OR  
(II) FULL CALC (500 - 20) x 50 = 1,500.0 L/DAY OR  
(III) AREA CALC (300 - 200)/10 x 100 = 1,000.0 L/DAY  
+ (1000 - 800)/10 x 75 = 2,000.0 L/DAY  
+ (800 - 600)/10 x 50 = 3,500.0 L/DAY

TOTAL DAILY FLOW RATE = 3,500.0 L/DAY

**REQUIRED**  
SEPTIC TANK SIZE 2 x DAILY FLOW:  
= 2 x 3,500 L/DAY  
= 7,000 L (MIN.) SEPTIC TANK

**SEPTIC BED ROOMS (LOT 1 & LOT 2)**

STONE AREA:  
= 0.750  
= 3,500 / 50  
= 70.0 m<sup>2</sup>, USE 70.0m<sup>2</sup> (10m x 7m)

FILTER SAND BASE:  
= 07/850  
= (3,500 x 20) / 850  
= 82.35 m<sup>2</sup>, USE 88 m<sup>2</sup> (11m x 8m)

SAND MANTLE AREA:  
= 0.2/10  
= 3,500 / 10  
= 350.0m<sup>2</sup>, USE 350 m<sup>2</sup> (24m x 15m)

\*PERCOLATION TIME OF NATIVE SOIL 1 = 20 min/cm  
AS PER 10% GRAN SIZE ANALYSIS & PERCOLATION RATE  
SUMMARY FOR LOT 1 & LOT 2, PROJECT No. L01-2400044-AD

NOTE: THIS DESIGN IS CONCEPTUAL IN NATURE AND IS NOT TO BE USED AS PART OF A BUILDING PERMIT APPLICATION.

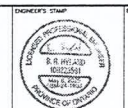
**ENLARGED SEPTIC PLAN**

SCALE 1:300

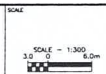
AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	IA	1	FOR CLIENT REVIEW	28/10/24	LA	
DESIGN	IA	2	REVISED PER CLIENT COMMENTS	29/11/24	LA	
CHECKED	SH	3	UPDATED PER REVISED SEWERAGE SKETCH	15/04/25	AK	
APPROVED	SH	4	UPDATED PER CLIENT COMMENTS	08/05/25	LA	
DATE: 08/05/2025						
CNO: 24-1903						

**PRELIMINARY NOT FOR CONSTRUCTION**

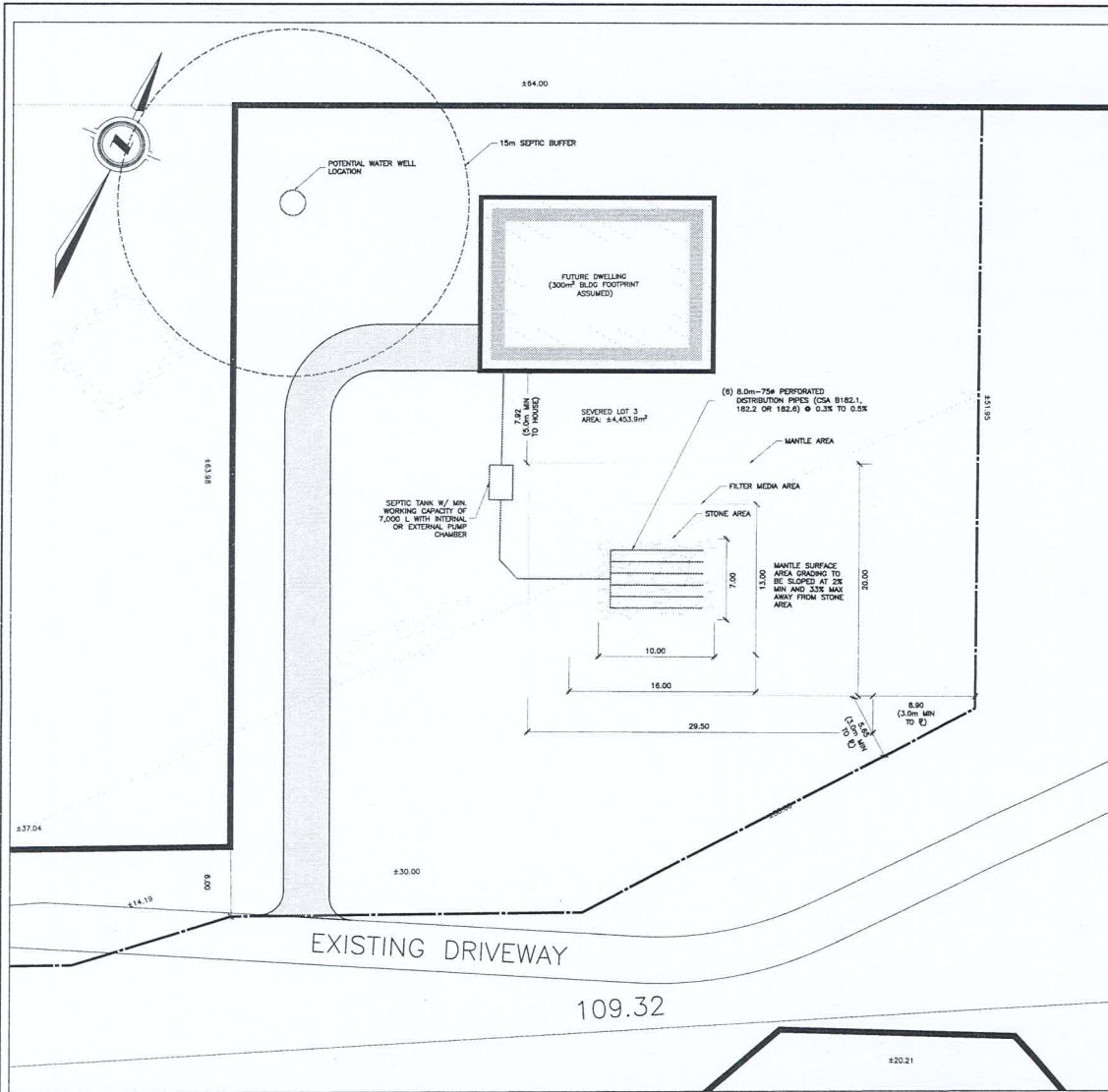
REFER TO NOTES, LEGEND, AND DETAILS ON SHEET C1



**TERESA PTAK**  
PO BOX 275  
BEACHVILLE, ON  
N0J 1A0  
E: tpak@execulink.com



PROJECT No.	SHEET No.	PLAN FILE No.
SBM-24-1903	C2	



**SEPTIC SYSTEM DESIGN INFO.**

SUPPLEMENTARY INFORMATION SHEET  
 OHTAWA BUILDING CODE, PART 9 (SEWAGE SYSTEMS)  
 ESTIMATION OF FIXTURE UNITS (OBC TABLE 7.4.9.3)

INDIVIDUAL ITEMS	HOW MANY	FIXTURE UNITS	TOTAL
BATHROOM GROUP (TOILET, SINK, BATH/TUB)	3	6.0	18.0
TOILET	1	4.0	4.0
WASHBASIN	3	1.5	4.5
BATH/TUB OR SHOWER	1	1.5	1.5
KITCHEN SINK	1	1.5	1.5
DISHWASHER	1	1.5	1.5
WASHING MACHINE	1	1.5	1.5
LAUNDRY TUB	1	1.5	1.5
FLOOR DRAIN	1	2.0	2.0
<b>MAXIMUM ASSUMED FIXTURES</b>			<b>50.0</b>

TOTAL No. OF BEDROOMS 4  
 TOTAL FINISHED FLOOR AREA 350 (m<sup>2</sup>)  
 (EXCLUDING FINISHED BASEMENT)

DESIGN CAPACITY  
 BASE LOAD (4 BEDROOMS) = 2,000.0 L/DAY  
 ADDITIONAL FLOOR FIVE (5) = 0.0 L/DAY OR  
 (5) F.F. CALC. (50.0 - 20) x 50 = 1,500.0 L/DAY OR  
 (8) AREA CALC. (350 - 200)/10 x 100 = 1,000.0 L/DAY  
 + (400 - 800)/10 x 75 = 0.0 L/DAY  
 + (800 - 800)/10 x 50 = 0.0 L/DAY  
**TOTAL DAILY FLOW RATE = 3,000.0 L/DAY**

**REQUIRED**

SEPTIC TANK SIZE: 2 x DAILY FLOW:  
 = 2 x 3,000 L/DAY  
 = 7,000 L (MIN.) SEPTIC TANK

FILTER BED DESIGN (LOT 3)

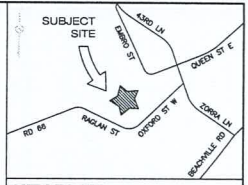
STONE AREA:  
 = 0/50  
 = 3,000 / 50  
 = 75.0 m<sup>2</sup>, USE 70.0m<sup>2</sup> (10m x 7m)

FILTER SAND BASE:  
 = 0/700  
 = 13,500 / 800  
 = 205.88 m<sup>2</sup>, USE 208 m<sup>2</sup> (19m x 13m)

SAND MANTLE AREA:  
 = 0/8  
 = 3,500 / 8  
 = 563.33 m<sup>2</sup>, USE 590m<sup>2</sup> (29.5m x 20m)

HYDROLOGICAL TRAC OF NATIVE SOIL T = 50 min/cm  
 AS PER SOIL DRAIN SIZE ANALYSIS & PERCOLATION RATE  
 SUMMARY FOR LOT 3, PROJECT No. L04-24005048-40

NOTE: THIS DESIGN IS CONCEPTUAL IN NATURE AND IS NOT TO BE USED AS PART OF A BUILDING PERMIT APPLICATION.



**KEY PLAN**  
 N.T.S.

**ENLARGED SEPTIC PLAN**

SCALE 1:200

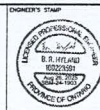
**PRELIMINARY  
 NOT FOR CONSTRUCTION**

REFER TO NOTES, LEGEND, AND DETAILS ON SHEET C1

AS CONSTRUCTED SERVICES	COMPLETION	No.	REVISIONS	D/M/Y	BY	CONSULTANT
DESIGN	LA	1	FOR CLIENT REVIEW	28/10/24	LA	
DESIGN	LA	2	REVISED PER CLIENT COMMENTS	29/11/24	LA	
DESIGNED	BY	3	UPDATED PER REVISED SEWERAGE SKETCH	15/04/25	AC	
APPROVED	BY	4	UPDATED PER CLIENT COMMENTS	08/05/25	LA	
DATE		5	REVISED FOR SUBMISSION	10/05/25	LA	
DATE		6	REVISED FOR SUBMISSION	26/08/25	LA	
DOB				24-1903		

**STRIK  
 BALDINELLI  
 MONIZ**

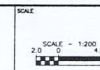
1599 Adelaide St. N. Unit 301, London, Ontario, N6C 4E3  
 Tel: (519) 471-6687 Fax: (519) 471-0034  
 Email: sbm@sbmll.ca



CLIENT

TERESA PTAK  
 PO BOX 275  
 BEACHVILLE, ON  
 N0J 1A0

E: tpak@execulink.com



SCALE 1:200

PROJECT No. **SBM-24-1903**  
 TITLE **LOT 3 ENLARGED PLAN & CALCULATIONS**  
**CONCEPT SEPTIC SKETCH**

31 RAGLAN STREET  
 BEACHVILLE, ON.

SHEET No. **C3**  
 PLAN FILE No. —